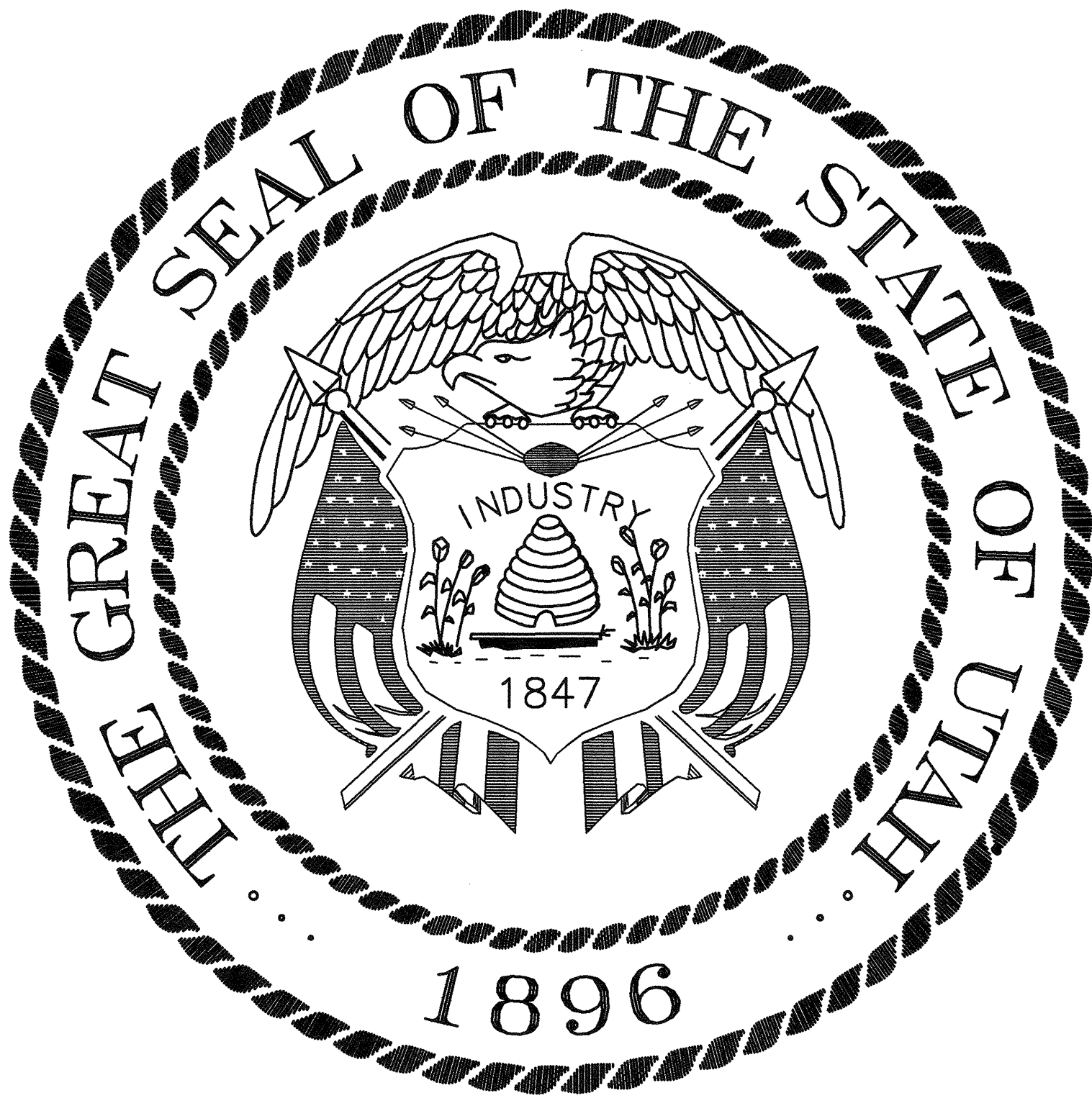


SALT LAKE COMMUNITY COLLEGE  
4600 SOUTH REDWOOD ROAD  
LIBRARY BUILDING  
ROOFING IMPROVEMENTS

DFCM PROJECT NO. 07024660



State of Utah— Department of Administrative Services

**DIVISION OF FACILITIES CONSTRUCTION  
AND MANAGEMENT**

4110 State Office Building / Salt Lake City, Utah 84114 / 538-3018

May 07, 2007

State of Utah

Department of Administrative Services

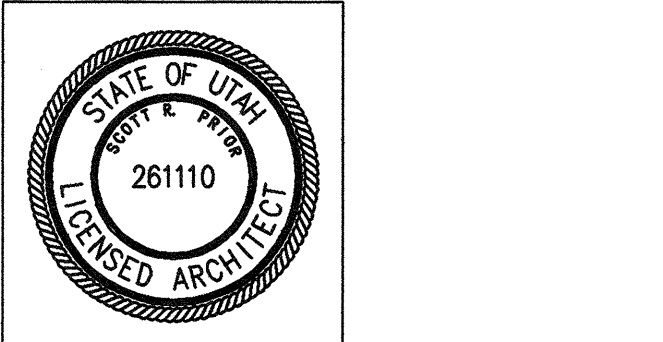
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architecture planning design

BUILDING LOCATION:

Salt Lake  
Community College  
4600 South  
Redwood Road  
Taylorsville, Utah  
Library Building  
Roofing Improvements

PROJECT TITLE:

Salt Lake  
Community College  
Library Building  
Roofing Improvements


MARK	DATE	DESCRIPTION
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ISSUE TYPE:

ISSUE DATE: May 07, 2007

DFCM PROJECT NO: 07024660

CAD PROJECT NO: 2007-05

CAD DWG FILE:

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SHEET TITLE

COVER SHEET

SHEET NUMBER

A-GI-001

SHEET 1 OF 6



SALT LAKE COMMUNITY COLLEGE  
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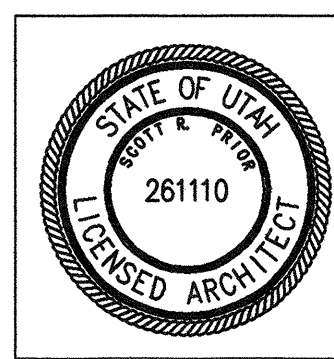
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SHEET 2 OF 6

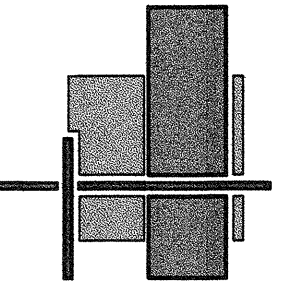
ABBREVIATIONS

Reference to materials or methods have been made on the drawings in accordance with the following abbreviations:

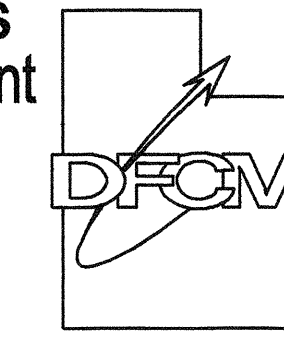
#	NUMBER	G.V.B.	GYPSUM WALL BOARD
'	FEET	G.V. BD.	GYPSUM WALL BOARD
"	INCHES	H.C.	HANDICAPPED
&	AND	H.D.W.	HARDWARE
Ø	DIAMETER	H.H.	HOLLOW METAL
ADJ.	ADJUSTABLE	HORIZ.	HORIZONTAL
AF	ABOVE FINISH FLOOR	HR.	HOUR
ALUM	ALUMINUM	HT.	HEIGHT
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	HVAC	HEATING/VENTILATION/AIR CONDITIONING
ATS	AUTOMATIC TRANSFER SWITCH	HYD	HYDRANT
BD	BOARD	I.D.	INSIDE DIAMETER
BITUM.	BITUMINOUS	INSUL.	INSULATION
BLDG	BUILDING	LAV.	LAVATORY
B.M.	BENCHMARK	L.T.	LIGHT
B.D.	BOTTOM OF	MATL.	MATERIAL
BRG.	BEARING	MAX.	MAXIMUM
BTWN.	BETWEEN	MECH.	MECHANICAL
CER.	CERAMIC	MFR.	MANUFACTURER
C.J.	CONSTRUCTION JOINT	MIN.	MINIMUM
CLG.	CEILING	MISC.	MISCELLANEOUS
CLR.	CLEAR	M.O.	MASONRY OPENING
CMU	CONCRETE MASONRY UNIT	MTL.	METAL
COL.	COLUMN	NIC	NOT IN CONTRACT
CONC.	CONCRETE	NO.	NUMBER
CONT.	CONTINUOUS	N.T.S.	NOT TO SCALE
CONSTR.	CONSTRUCTION	O.C.	ON CENTER
COORD.	COORDINATE	O.D.	OUTSIDE DIAMETER
CTJ	CONTRACTION JOINT	DIH.	DIVERTER
DBL.	DOUBLE	OPP.	OPPOSITE
DPW	DIRECTOR OF PUBLIC WORKS	PART.	PARTITION
DIA.	DIAMETER	PERP.	PERPENDICULAR
DPG	DUGWAY PROVING GROUND	PL.	PLATE
DTL.	DETAIL	PNTD.	PAINTED
DWGS.	DRAWINGS	PSI	POUNDS PER SQUARE INCH
EA.	EACH	R.D.	ROOF DRAIN
EJ	EXPANSION JOINT	RAD.	RADIUS
ELEV.	ELEVATION	REINF.	REINFORCED
EQ.	EQUAL	REQ'D	REQUIRED
E.S.	EACH SIDE	RET.	RETURN
EXIST.	EXISTING	REV.	REVERSED
EXPAN.	EXPANSION	RM.	ROOM
EXT.	EXTERIOR	R.D.	ROUGH OPENING
E.V.C.	ELECTRIC WATER COOLER	SCHED.	SCHEDULE
F.D.	FLOOR DRAIN	SHR.	SHOWER
FDN.	FOUNDATION	SHT.	SHEET
F.E.	FIRE EXTINGUISHER	SIM.	SIMILAR
F.C.B.	FIRE EXTINGUISHER CABINET	SPEC.	SPECIFICATION
F.F.	FINISH FLOOR	STD.	STANDARD
FIN.	FINISH	STR.	STRUCTURAL
FLR.	FLOOR	SUSP.	SUSPENDED
F.L.	FLOW LINE	THRU	THROUGH
FTG.	FOOTING	T.O.P.	TOP OF
GA.	GAGE	T.O.A.	TOP OF ASPHALT
GALV.	GALVANIZED	T.O.C.	TOP OF CURB
GF-CI	GOVERNMENT FURNISHED CONTRACTOR INSTALLED	T.O.F.	TOP OF FOOTING
GF-GI	GOVERNMENT FURNISHED	T.O.S.	TOP OF SLAB OR SIDEWALK
GI.	GALVANIZED STEEL	T.O.W.	TOP OF WALL
GND.	GROUND	TYP.	TYPICAL
GOVT.	GOVERNMENT	VERT.	VERTICAL
		VEST.	VESTIBULE
		V.V.	VITH
		VD	WOOD

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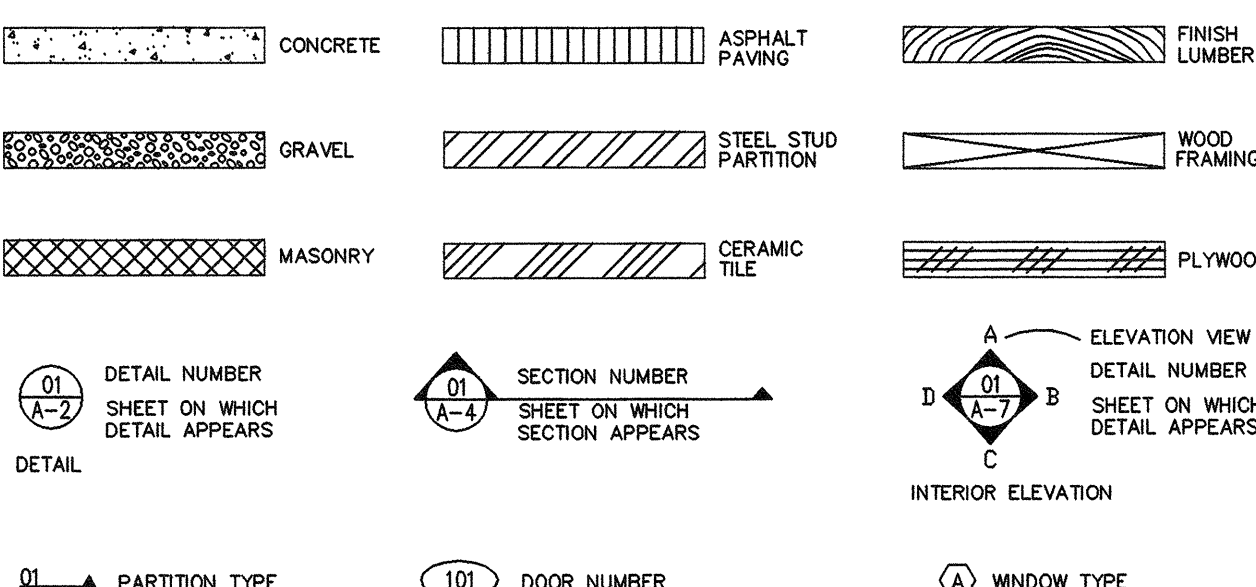
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Contact: Mike Ambre



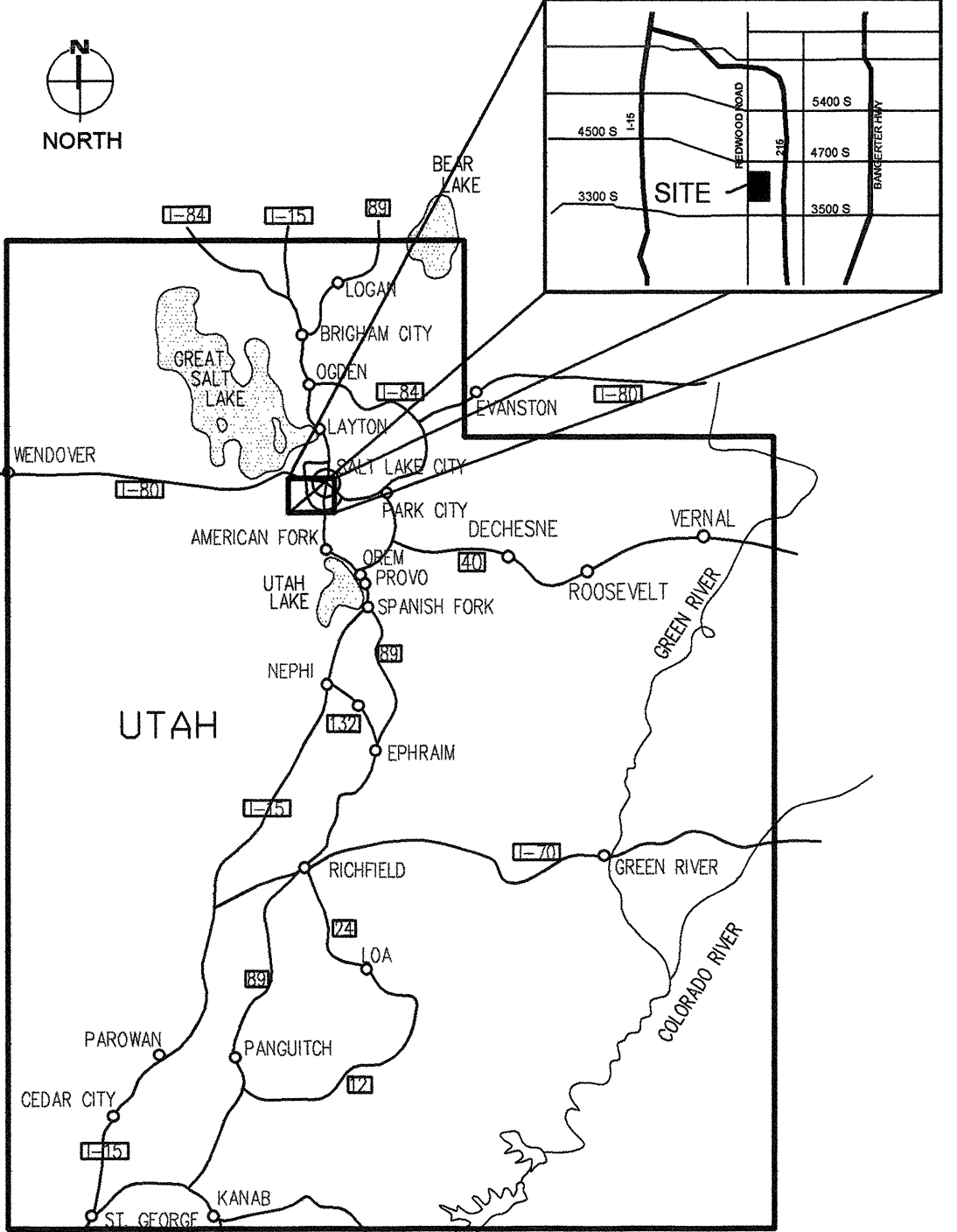
LIST OF DRAWINGS

GENERAL		
1 DF 6	A-GI000	COVER SHEET
2 DF 6	A-GI001	ARCHITECTURAL ABBREVIATIONS, VICINITY MAP AND CODE ANALYSIS
ARCHITECTURAL		
3 DF 6	A-SP101	SITE PLAN
4 DF 6	A-SP101	DEMOLITION ROOF PLAN
5 DF 6	A-RP101	NEW ROOF PLAN
6 DF 6	A-DT500	ROOF DETAILS

GRAPHIC KEY



VICINITY MAP



DFCM DESIGN AND CODE CRITERIA

APPLICABLE CODES

	Year		Year
International Building Code	2006	National Electrical Code	N/A
International Mechanical Code	N/A	Uniform Code for Building Conservation	N/A
International Plumbing Code	N/A	ADA Accessibility Guidelines	N/A
International Fire Code	2006		
International Energy Conservation Code	N/A		

A. Occupancy and Group: \_\_\_\_\_

Change in Use: Yes \_\_\_\_\_ No \_\_\_\_\_ Mixed Occupancy: Yes \_\_\_\_\_ No \_\_\_\_\_

Special Use and Occupancy (e.g. High Rise, Covered Mall): \_\_\_\_\_

B. Seismic Design Category: N/A Design Wind Speed: 1-90 mph

C. Type of Construction (circle one):

<u>I</u>	<u>A</u>	<u>II</u>	<u>B</u>	<u>III</u>	<u>C</u>	<u>IV</u>	<u>D</u>	<u>V</u>	<u>VI</u>
	B		A		B		HT		B

D. Fire Resistance Rating: Requirements for the Exterior Walls based on the fire separation distance (in hours):

North: N/A, South: N/A, East: N/A, West: N/A

E. Mixed Occupancies: NO Nonseparated Uses: NO

F. Sprinklers: Required: NO Provided: NO Type of Sprinkler System: NDNE

G. Number of Stories: 3 Building Height: N/A

H. Actual Area per Floor (square feet): XX

I. Tabular Area: XX

J. Area Modifications:

a)  $A_a = A_1 + \left[ \frac{A_1 I_1}{100} \right] + \left[ \frac{A_1 I_1}{100} \right] I_1 = 100 \left[ \frac{F}{P} - 0.25 \right] \frac{W}{30}$

b) Sum of the Ratio Calculations for Mixed Occupancies:

Actual Area \_\_\_\_\_

Allowable Area \_\_\_\_\_

c) Total Allowable Area for:

1) One Story: \_\_\_\_\_

2) Two Story: \_\_\_\_\_

3) Three Story: A3(3) \_\_\_\_\_

d) Unlimited Area Building: Yes \_\_\_\_\_ No \_\_\_\_\_ Code Section: N/A

K. Fire Resistance Rating Requirements for Building Elements (hours):

Element	Hours	Assembly Listing	Element	Hours	Assembly Listing
Exterior Bearing Walls	0	—	Floors - Ceiling Floors	0	—
Interior Bearing Walls	0	—	Floors - Ceiling Floors	0	—
Exterior Non-Bearing Walls	0	—	Exterior Doors and Windows	0	—
Structural Frame	0	—	Shed Enclosures	<u>N/A</u>	—
Partitions - Permanent	0	—	Fire Walls	0	—
Fire Barriers	0	—	Fire Partitions	0	—
			Smoke Partitions	0	—

L. Design Occupant Load: XX

Exit Width Required: XX Exit Width Provided: XX

M. Minimum Number of Required Plumbing Facilities:

a) Water Closets - Required (m) XX (f) XX Provided (m) X (f) X

b) Lavatories - Required (m) XX (f) XX Provided (m) X (f) X

c) Bath Tubs or Showers: XX

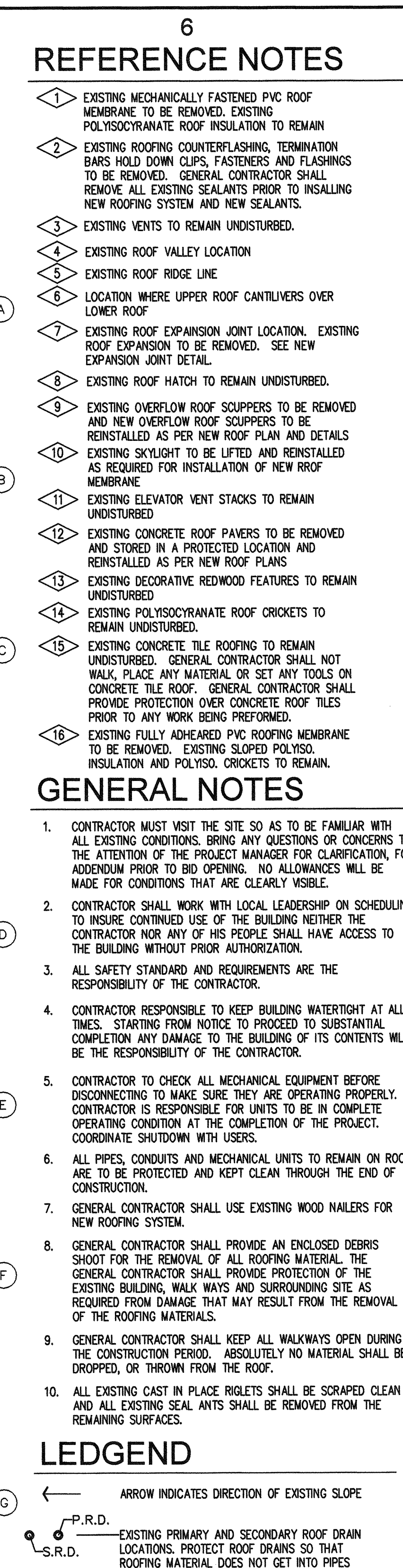
d) Drinking Fountains: XX Service Sinks: XX

- FOOTNOTES:
- In case of conflict with the U.S. Department of Justice Federal Registers Parts I through X-ADA Guidelines and specific reference to the International Building Code Accessibility Chapters, the more restrictive requirement shall govern.
  - Additional Code Information shall be provided at the discretion of the Building Official for Complex Buildings. Including, but not limited to:
    - High Rise Requirements
    - Atticums
    - Performance Based Criteria
    - Means or Egress Analysis
    - Fire Assembly Locator Sheet
    - Exterior and Interior Accessibility Route
    - Fire Stopping, Including Tested Design Number

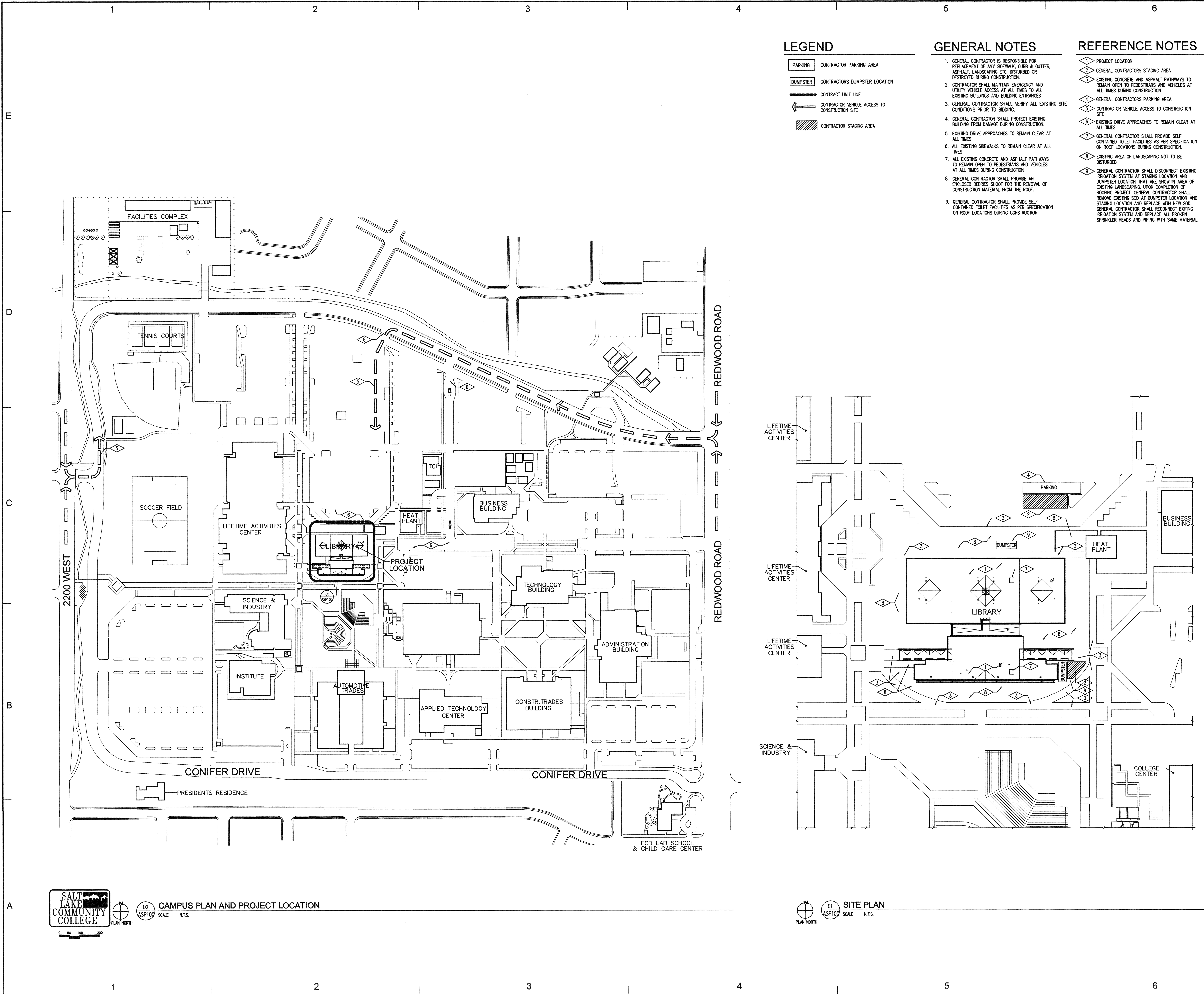
GENERAL NOTES

- GENERAL CONTRACTORS AND SUBCONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL PORTIONS OF THE DRAWINGS, SPECIFICATIONS AND ADDENDA THAT PERTAIN TO THEIR WORK. THEY SHALL BE HELD RESPONSIBLE FOR ADHERING TO THOSE REQUIREMENTS AND SHALL NOT PREPARE ANY BID FROM PARTIAL SETS.
- ALL NUTS, BOLTS AND MISCELLANEOUS METAL EXPOSED TO WEATHER SHALL BE GALVANIZED UNLESS OTHERWISE NOTED.
- ALL WORK SHALL COMPLY STRICTLY WITH THE INTERNATIONAL BUILDING CODE 2006, LATEST EDITION, AND ALL LOCAL CODES AND ORDINANCES.
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND SHALL REPORT ANY INCONSISTENCIES TO THE CONTRACTING OFFICER.
- CONTRACTOR SHALL REMOVE ALL SURPLUS MATERIALS, FALSE WORK, TEMPORARY STRUCTURES, INCLUDING FOUNDATIONS AND DEBRIS OF ANY NATURE RESULTING FROM HIS OPERATIONS, AND TO PUT THE SITE IN A NEAT AND ORDERLY CONDITION.
- DIMENSIONAL DISCREPANCIES SHALL BE CLARIFIED WITH THE CONTRACTING OFFICER
- CONTRACTOR SHALL VERIFY LOCATIONS AND SHALL PROVIDE PROTECTION FOR UTILITIES WITHIN THE WORK AREA, WHETHER OR NOT INDICATED IN THE DRAWINGS. CONTRACTOR SHALL NOTIFY UTILITY COMPANY IMMEDIATELY SHOULD SERVICE BE INTERRUPTED.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION DOCUMENTS AND VERIFY ALL WORK ASSOCIATED WITH ALL TRADES.



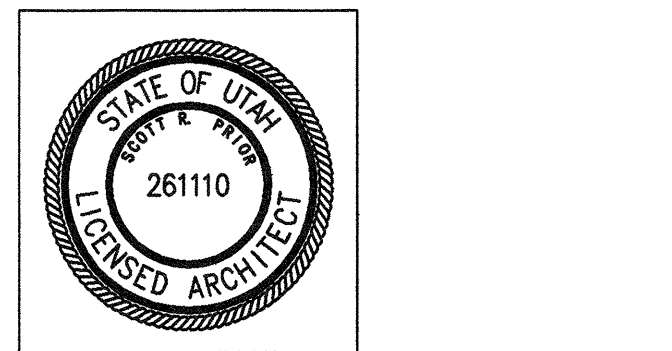






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ISSUE DATE: May 07, 2007		
DFCM PROJECT NO: 07024660		
CAD PROJECT NO: 2007-05		
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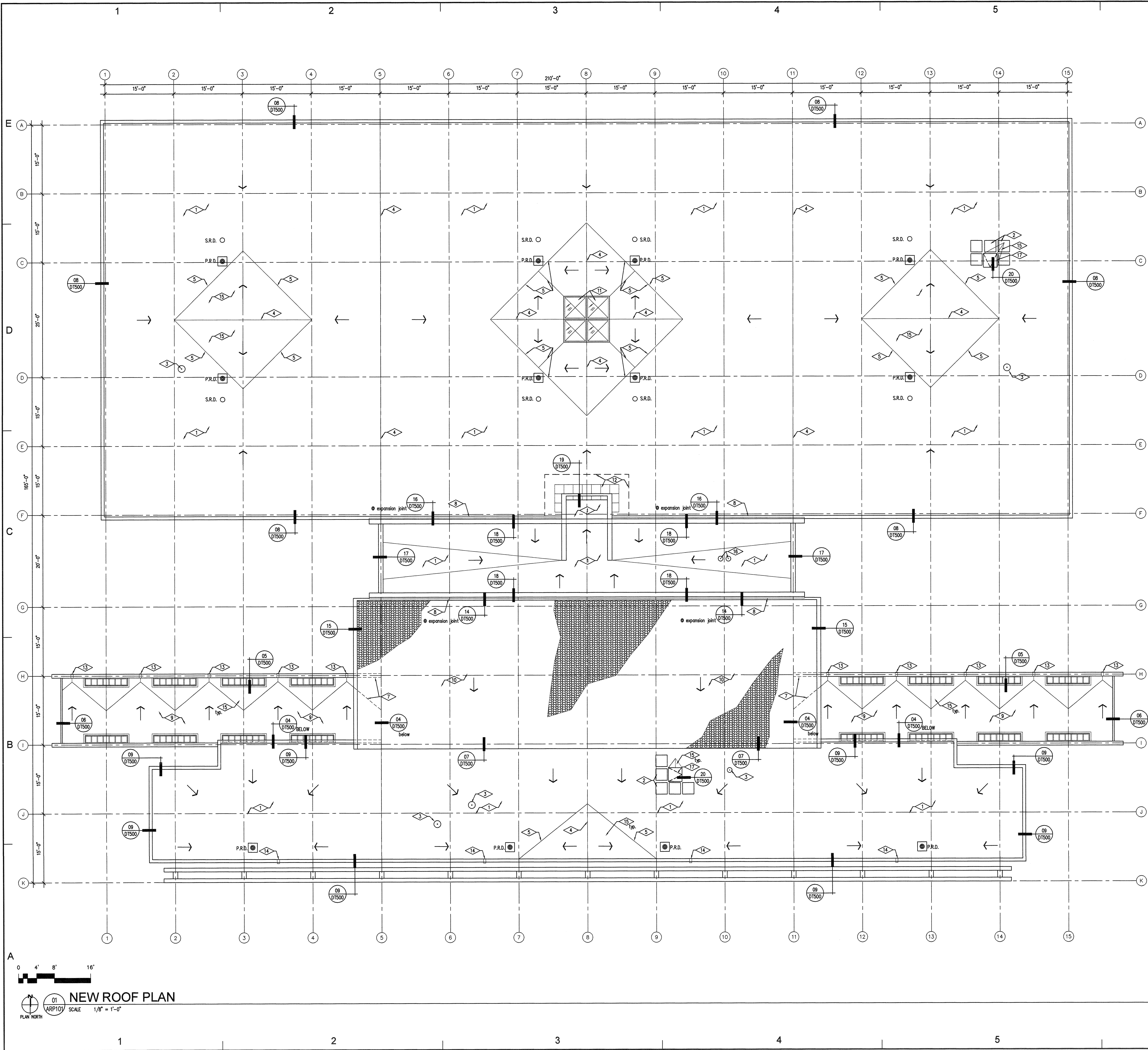
SITE PLAN

SHEET NUMBER

A-SP100

SHEET 3 OF 6





## REFERENCE NOTES

- 1 NEW MECHANICALLY FASTENED TPO ROOF MEMBRANE OVER 1/2" RECOVERY BOARD.
- 2 NEW REINFORCED ROOFING MEMBRANE WALKWAY PADS, SEE LEGEND AND DETAIL 01/A-DT500.
- 3 VENT PIPE ROOF PENETRATION TO RECEIVE VENT PIPE BOOT SEE SPECIFICATION AND DETAIL 03/ADT500
- 4 RIDGE LINE.
- 5 VALLEY LINE.
- 6 ROOF BELOW.
- 7 LOCATION WHERE UPPER ROOF EXTENDS OVER LOWER ROOF.
- 8 LOCATION OF ROOF EXPANSION JOINT, SEE DETAIL.
- 9 NEW MECHANICALLY FASTENED TPO ROOF MEMBRANE OVER FULLY ADHERED 1/2" RECOVERY BOARD.
- 10 EXISTING CONCRETE ROOF TILE. GENERAL CONTRACTOR SHALL NOT SET ANY MATERIALS OR TOOLS OR WALK ON EXISTING ROOF TILES. GENERAL CONTRACTOR SHALL PROVIDE PROTECTION OF EXISTING TILES DURING CONSTRUCTION AS REQUIRED TO PROTECT TILES FROM BREAKING, CRACKING OR BECOMING DISLOOSED.
- 11 EXISTING SKYLIGHTS TO BE LIFTED AND REINSTALLED AS REQUIRED FOR INSTALLATION OF NEW ROOF MEMBRANE.
- 12 GENERAL CONTRACTOR SHALL REPLACE EXISTING CONCRETE PANELS AT DRIP LOCATION AS NECESSARY TO PROTECT NEW ROOF MEMBRANE. DASHED LINE INDICATES WHERE THE GENERAL CONTRACTOR SHALL PROVIDE A SECOND LAYER OF ROOFING MEMBRANE AT PAVEN LOCATIONS.
- 13 ROOF OVERFLOW SCUPPER, SEE DETAIL 10/A-DT500
- 14 ROOF SECONDARY OVERFLOW DRAIN SCUPPER, SEE DETAIL 11/A-DT500
- 15 ROOF CRICKET LOCATION.
- 16 ELEVATOR SHAFT ROOF VENTS TO REMAIN UNDISTURBED.
- 17 EXISTING ROOF ACCESS HATCH. GENERAL CONTRACTOR SHALL LIFT TOP OF HATCH AS REQUIRED FOR INSTALLATION OF NEW ROOF MEMBRANE. SEE DETAIL 20/ADT500

## GENERAL NOTES

1. CONTRACTOR MUST VISIT THE SITE SO AS TO BE FAMILIAR WITH ALL EXISTING CONDITIONS, BRING ANY QUESTIONS OR CONCERNS TO THE ATTENTION OF THE PROJECT MANAGER FOR CLARIFICATION, FOR ADDENDUM PRIOR TO BID OPENINGS. NO ALLOWANCES WILL BE MADE FOR CONDITIONS THAT ARE CLEARLY VISIBLE.
2. CONTRACTOR SHALL WORK WITH LOCAL LEADERSHIP ON SCHEDULING TO INSURE CONTINUED USE OF THE BUILDING NEITHER THE CONTRACTOR NOR ANY OF HIS PEOPLE SHALL HAVE ACCESS TO THE BUILDING WITHOUT PRIOR AUTHORIZATION.
3. ALL SAFETY STANDARD AND REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
4. BEFORE FABRICATION OF ANY SHEET METAL WORK, SUBMIT SHOP DRAWINGS TO PROJECT ARCHITECT FOR REVIEW AND APPROVAL.
5. COMPLY WITH ALL MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
6. CONTRACTOR RESPONSIBLE TO KEEP BUILDING WATERTIGHT AT ALL TIMES. STARTING FROM NOTICE TO PROCEED TO SUBSTANTIAL COMPLETION ANY DAMAGE TO THE BUILDING OF ITS CONTENTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR TO CHECK ALL MECHANICAL EQUIPMENT BEFORE DISCONNECTING TO MAKE SURE THEY ARE OPERATING PROPERLY. CONTRACTOR IS RESPONSIBLE FOR UNITS TO BE IN COMPLETE OPERATING CONDITION AT THE COMPLETION OF THE PROJECT. COORDINATE SHUTDOWN WITH USERS.
8. ALL PIPES, CONDUITS AND MECHANICAL UNITS TO REMAIN ON ROOF ARE TO BE PROTECTED AND KEPT CLEAN THROUGH THE END OF CONSTRUCTION.
9. FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING ANY MATERIALS. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. DO NOT SCALE DRAWINGS FOR QUANTITIES.
10. ANY SIDING, FASCIA, ETC. THAT NEEDS TO BE REMOVED TO COMPLETE THIS JOB ARE TO BE PART OF THE CONTRACT. CARE MUST BE TAKEN TO ENSURE THAT ALL ITEMS TO BE REINSTALLED ARE NOTE DAMAGED DURING REMOVAL AND/OR INSTALLATION. CONTRACTOR WILL REPLACE ALL PIECES THAT ARE DAMAGED.
11. AT THE END OF CONSTRUCTION, CONTRACTOR IS TO CLEAN OUT AND FLUSH ALL ROOF DRAIN LINES TO MAKE SURE THEY ARE NOT PLUGGED AND ARE IN WORKING CONDITION.
12. ALL EXISTING VENT STACKS TO REMAIN. GENERAL CONTRACTOR SHALL EXTEND EXISTING VENT STACK AS PER NEW ROOF PLAN DRAWINGS AND DETAILS.
13. ALL ROOF AREAS MUST SLOPE TO DRAIN. POND WATER IS NOT ACCEPTABLE. ALL TAPERED INSULATION, CRICKETS, SADDLES AND ANY OTHER APPURTENANCES NECESSARY TO ACCOMPLISH THIS TASK ARE PART OF THIS CONTRACT.
14. ROOFING SYSTEM TESTING AS PER U.L. 263 BASIC STANDARDS FOR ROOFING PRODUCT INVESTIGATION, INSTALLATION AS PER CARLISLE SYNTECH INCORPORATED ROOFING SYSTEMS, TIGUR8103 CLASS "A" T.P.O. ROOFING SYSTEM, MECHANICALLY FASTENED

## LEDGEND

- ARROW INDICATES DIRECTION OF EXISTING SLOPE
- P.R.D. EXISTING PRIMARY AND SECONDARY ROOF DRAIN LOCATIONS. SEE DETAIL 03/A-DT500
- S.R.D.
- NEW REINFORCED WALKWAY PADS SEE DETAIL 01/A-DT500 AND SPECIFICATION.

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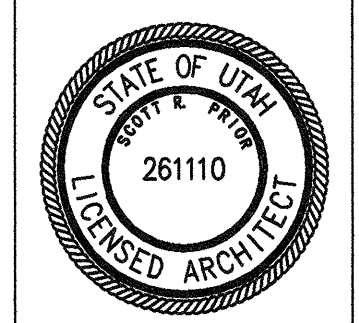
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